



CITY MANAGER'S OFFICE
CITY OF NEWARK

220 South Main Street · Newark, Delaware 19711
302.366.7000 · Fax 302.366.7035 · www.newarkde.gov

September 27, 2023

CONTRACT NO. 23-16

ADDENDUM #1

1. PROJECT INFORMATION

Name:	Field Operations Complex Perimeter Fencing Replacement
Owner:	City of Newark, Delaware
Contract Number:	23-16
Date of Addendum:	September 27, 2023
Pre-Bid Meeting Date:	10:00 a.m., Tuesday, September 19, 2023
Questions Deadline:	12:00 p.m., Friday, September 22, 2023
Bid Submission Deadline:	2:00 p.m., Tuesday, October 3, 2023

2. NOTICE TO BIDDERS

- A. The Bidder shall acknowledge receipt of this addendum with their submitted proposal. Failure to do so may disqualify the Bidder.
- B. The date for questions and receipt of bids remains unchanged by this addendum.
- C. This addendum shall serve to answer questions submitted to date for this contract.

3. PLAN REVISIONS

- A. Updated existing site conditions.
- B. Modified General Notes to specify a 6-foot-high temporary construction fence is acceptable to secure the site where necessary.
- C. Modified plan to identify section of existing electric substation fence to remain.
- D. Modified plan to specify section of proposed fence shall be installed 3 ft from the existing electric substation fence with #57 stone placed between the new and existing fence.
- E. Updated Construction Notes to specify the existing slide gate and associated equipment/fencing/poles that shall remain at the main entrance on Phillips Avenue, shall be painted black. Black paint to match proposed fence color, Black ASTM 934.
- F. Updated Construction Notes to identify the City of Newark shall remove and dispose of vegetation or trees in conflict with proposed fence or gates.
- G. Modified plan to show section of proposed fence location along B Street shall be relocated +/- 3 ft to the north of the existing fence line.

Addendum #1

Page 1 of 3

- H. Added to Construction Notes: Permitted work hours shall be 7:00 am to 4:00 pm, Monday through Friday.

4. QUESTIONS

Q1. The General Notes specify that an 8-foot-high temporary construction fence be utilized to secure the site where necessary. Is a 6-foot-high temporary fence acceptable?

A1. Yes, 6-foot-high temporary construction fencing is acceptable.

Q2. Will a Building Permit be required?

A2. Yes, a Building Permit Application form will need to be submitted, however, the City of Newark will waive the associated fees.

Q3. Who is responsible for clearing vegetation from the fence?

A3. The City of Newark will clear and remove tree stumps and vegetation to the extent necessary for construction of the fence.

Q4. Do existing footings and posts need to be demolished to grade or below grade?

A4. Posts shall be cut flush with the top of existing concrete footing and filled with grout or concrete. Demolition below grade will only be required when the location of the proposed footing is the same as an existing footing.

Q5. Where is the property boundary on the east side of the complex in relation to the paved trail?

A5. The location of the paved trail feature has been added to the plan based on aerial imagery. The boundary appears to be east of the trail. For bidding, contractor should assume that posts may need to be installed in the asphalt trail. The construction stakeout for the proposed fence line and boundary shall be provided by the City's engineer.

Q6. Does existing fencing behind Building 'G' need to be replaced?

A6. Existing fencing behind Building 'G' is to be demolished and is not to be replaced. The proposed fencing shall tie into back wall of the building by returning at the northeast and northwest corners.

Q7. Where should fence behind Maintenance Garage (Building #1) be relocated to avoid trees?

A7. Alternative locations were discussed at the pre-bid meeting, but it has subsequently been determined that the fencing shall be replaced in the same location as existing. The City will remove/trim the trees and vegetation to the extent needed for the fence replacement.

Q8. Where should fence behind Warehouse Building (Building #2) be relocated to avoid tree stumps?

A8. The proposed fence shall be relocated +/-3 ft north of the existing fence line to avoid tree stumps.

Q9. Is the existing electric substation fence to be demolished also?

A9. No, the existing electric substation fence shall remain.

Q10. Does proposed fence need to be installed 6 ft from the existing electric substation fence?

A10. The proposed fence shall be installed 3 ft from the existing electric substation fence. The contractor shall also provide and place #57 stone between the new and existing fence.

Q11. Is there an electric grid around outside fence perimeter?

A11. No.

Q12. Will the new fence be bonded to the substation fencing?

A12. No. The City will put in a stub pole where the wooden fence is so the substation fence can remain grounded and separated from the rest of the fence line. The existing fence will not be bonded to the new fence.

5. ATTACHMENTS TO THIS ADDENDUM

A. Revised Plan Set – Addendum #1 dated September 27th, 2023

END OF ADDENDUM #1

FIELD OPERATIONS COMPLEX PERIMETER FENCING REPLACEMENT

CITY OF NEWARK, NEW CASTLE COUNTY, DELAWARE

AUGUST 2023

CONTRACT NO. 23-16

PREPARED FOR:

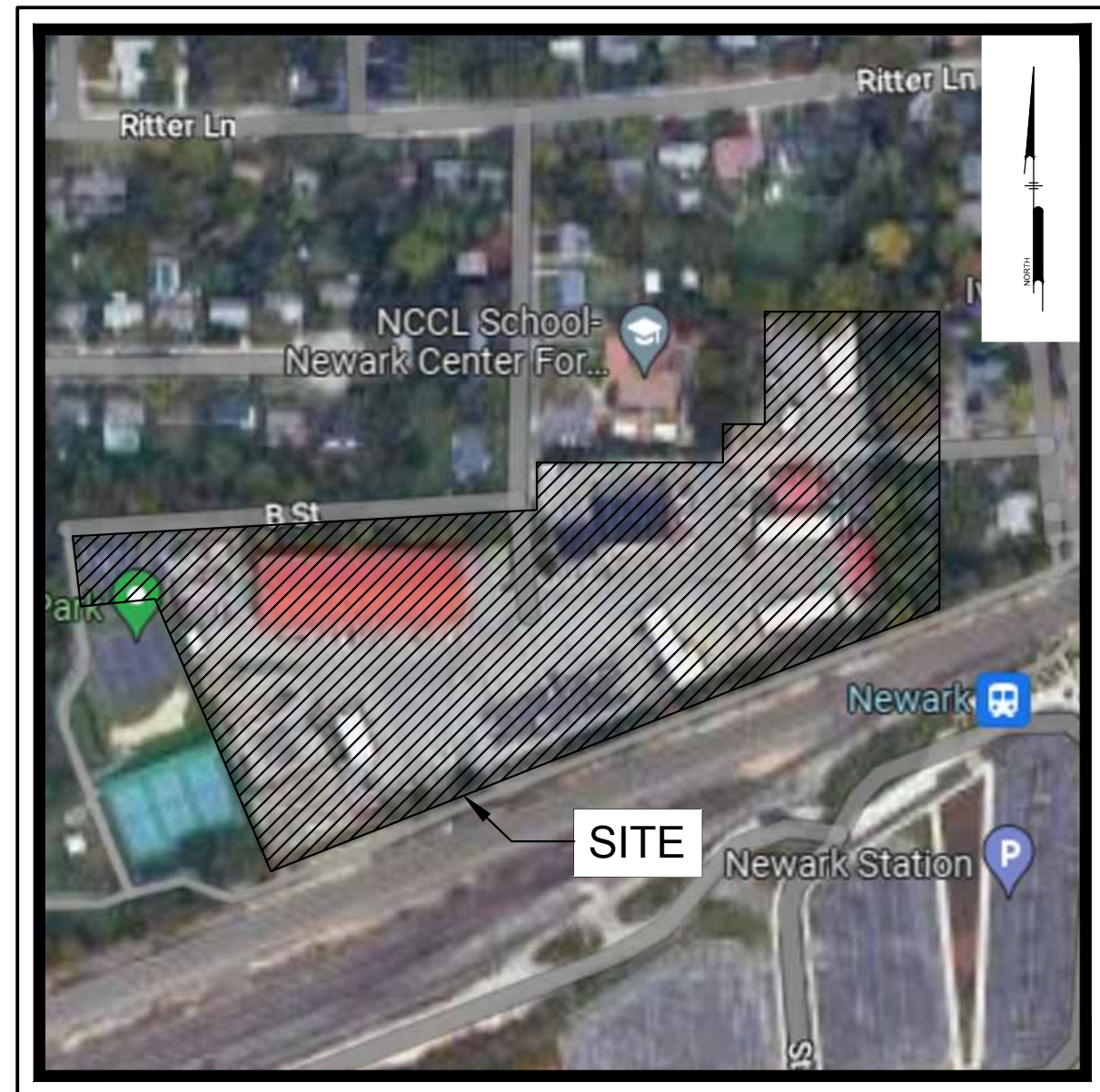
CITY OF NEWARK

220 SOUTH MAIN STREET

NEWARK, DE 19711

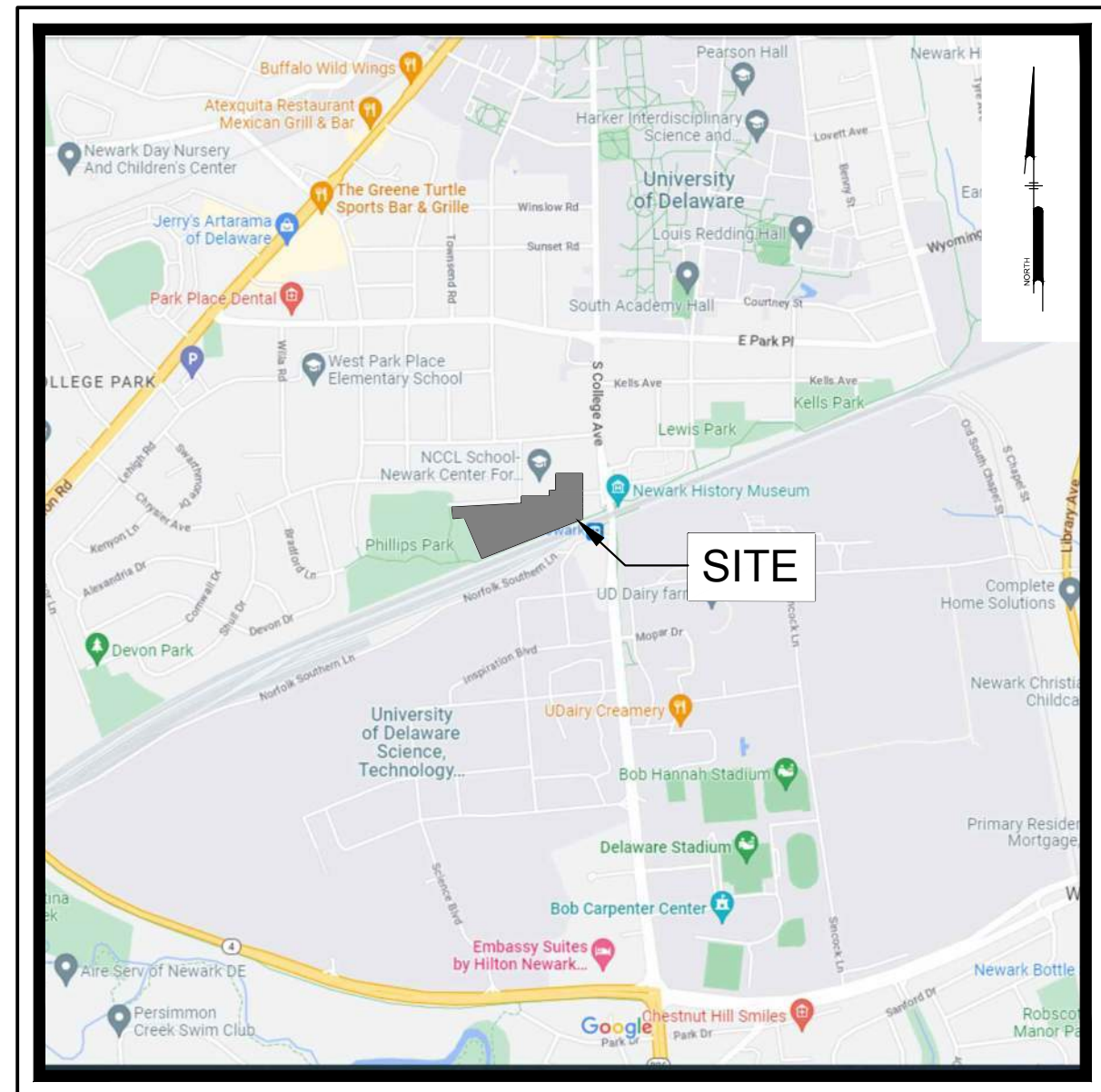
(302) 366-7000

SHEET LIST TABLE		
SHEET	DWG	SHEET TITLE
1	CS0001	COVER SHEET
2	CS0501	EXISTING CONDITIONS AND DEMOLITION PLAN
3	CS1001	SITE PLAN



AERIAL MAP

Scale: 1" = 100'



LOCATION MAP

Scale: 1" = 2000'

PREPARED BY:

PENNONI ASSOCIATES INC.



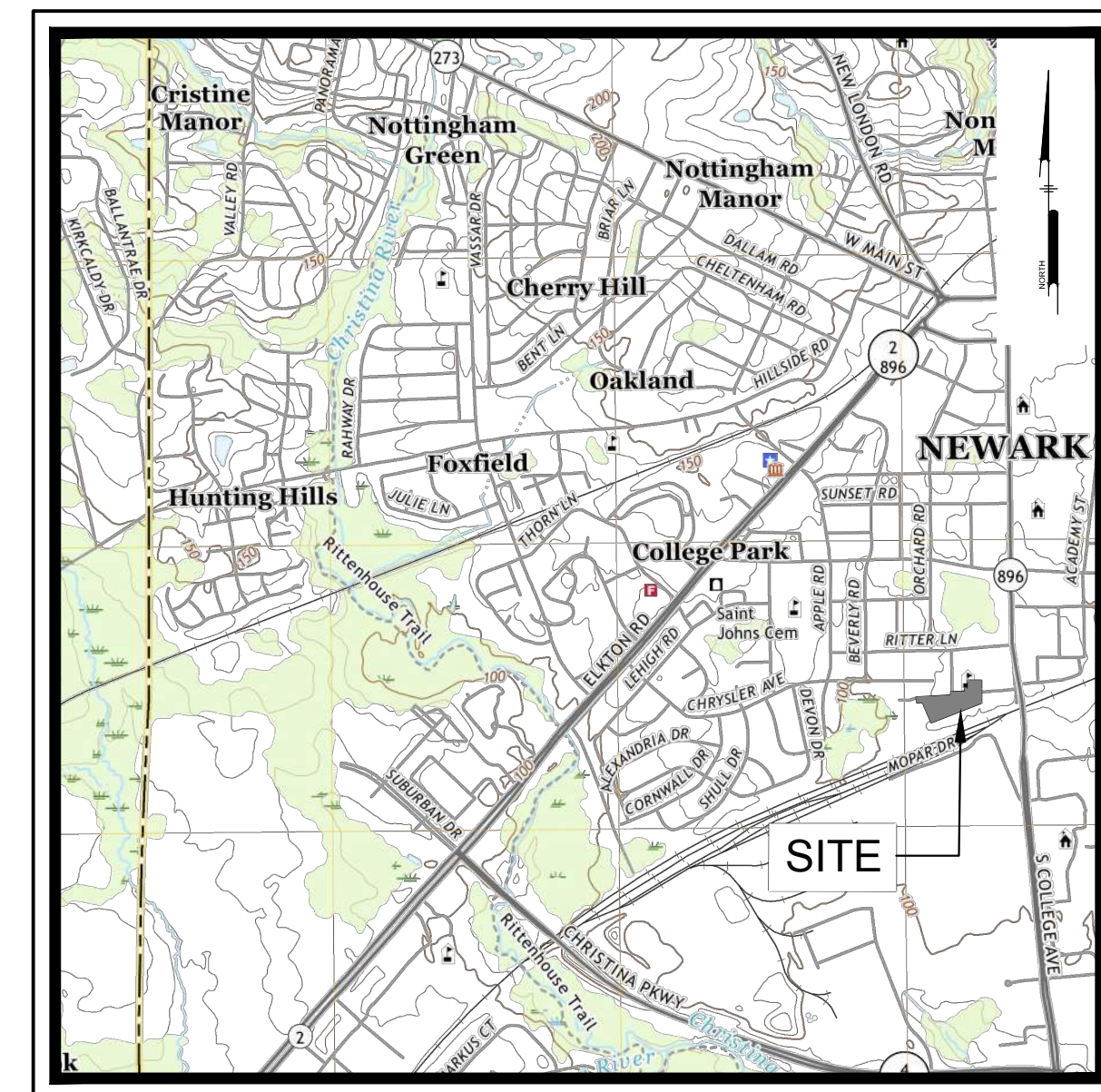
Christiana Executive Campus
121 Continental Drive, Suite 207
Newark, DE 19713-4310
T 302.655.4451
F 302.654.2895

GENERAL NOTES:

THE ENGINEER FOR THE PROJECT IS:
PENNONI ASSOCIATES INC.
121 CONTINENTAL DRIVE
SUITE 207
NEWARK, DE 19713
PHONE: (302) 655-4451

THE OWNER FOR THIS PROJECT IS:
CITY OF NEWARK
220 SOUTH MAIN STREET
NEWARK, DE 19711

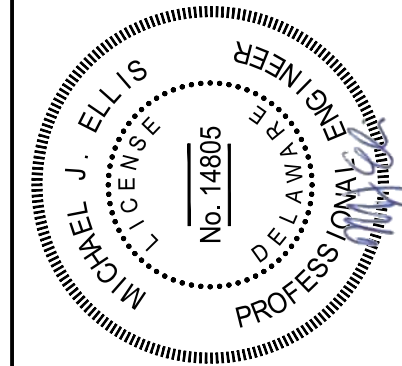
- THE FOLLOWING ARE GENERAL CONSTRUCTION CONTACT NUMBERS FOR THIS PROJECT:
CITY OF NEWARK PUBLIC WORKS AND WATER RESOURCES 302-366-7000
MISS UTILITY OF DELMARVA 1-800-282-8555
- THE PROJECT IS LOCATED IN THE CITY OF NEWARK, NEW CASTLE COUNTY, DELAWARE.
- HORIZONTAL CONTROLS ARE BASED ON DELAWARE STATE PLANE COORDINATE GRID, NORTH AMERICAN DATUM OF 1983 (NAD83/1991).
- VERTICAL CONTROLS ARE BASED ON NATIONAL GEODETTIC VERTICAL DATUM (NGVD/88).
- THIS DRAWING IS BASED ON A SURVEY FILE PROVIDED BY THE CITY OF NEWARK NAMED "WAREHOUSE", DATED DECEMBER 2005. THIS FILE WAS GENERATED ON AN ASSUMED COORDINATE SYSTEM. ADDITIONAL FEATURES HAVE BEEN ADDED TO THIS RENDERING BASED ON A PENNONI SURVEY OF THE LOCATION OF THE FENCE LINE ALONG THE EASTERN PROPERTY LINE, AS WELL AS RECORDED PLANS AND DEEDS, FIELD OBSERVATIONS, AERIAL IMAGERY, AND GEOSPATIAL DATA.
- PARCEL LINES, PROPERTY INFORMATION, AND EXISTING BUILDINGS WERE INCORPORATED FROM GIS SHAPEFILE DATA DOWNLOADED FROM THE NEW CASTLE COUNTY GEOGRAPHIC INFORMATION SYSTEMS MAP VIEWER (HTTP://GIS.NCCDE.ORG/GIS_VIEWER/). PARCEL DATA WAS DOWNLOADED AS A .SHP FILE AND IMPORTED INTO CAD. THE SURVEY FILE WAS THEN ALIGNED TO THE PARCEL INFORMATION AND AVAILABLE AERIAL IMAGES TO AN APPROXIMATE BEST FIT.
- THE CONTRACTOR MAINTAINS RESPONSIBILITY FOR LOCATION OF ALL UTILITIES, ABOVE & BELOW THE GROUND SURFACE, PRIOR TO START OF WORK, AND SHALL TAKE ADDITIONAL MEASURES AS REQUIRED TO ENSURE THAT UTILITIES ARE LOCATED IN ADVANCE OF ANY LAND DISTURBANCE. CONTRACTOR SHALL CONTACT MISS UTILITY CALL CENTER AT 1-800-282-8555 TO COORDINATE UTILITY LOCATION.
- FOR DETAILS NOT SHOWN ON DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE CITY OF NEWARK STANDARDS AND SPECIFICATIONS AND CONSULT WITH ENGINEER FOR ADDITIONAL INFORMATION.
- WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FEDERAL, STATE AND LOCAL MUNICIPAL LAWS, BYLAWS, ORDINANCES AND REGULATIONS IN ANY MANNER AFFECTING THE CONDUCT OF THIS WORK AS WELL AS ALL ORDERS OR DECREES WHICH HAVE BEEN PROMULGATED OR ENACTED BY ANY LEGAL BODIES OR TRIBUNALS HAVING AUTHORITY OR JURISDICTION OVER THE WORK, MATERIALS, EMPLOYEES OR CONTRACT.
- CONTRACTOR SHALL PROTECT EXISTING PROPERTY MARKERS FROM BEING DISTURBED. IF A DISTURBANCE OCCURS, REPLACEMENT MUST BE DONE BY A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PERSONNEL SAFETY ON THE JOBSITE. GUIDELINES FOR CONSTRUCTION SAFETY SHALL BE IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE CONSTRUCTION INDUSTRY OSHA SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (PART 1926 STANDARDS), AND ANY LOCAL ORDINANCES OR CODES THAT MAY BE APPLICABLE.
- LOCATION AND ELEVATIONS OF EXISTING SITE FEATURES, UTILITIES AND WORK ARE BASED ON THE BEST AVAILABLE INFORMATION. EXACT LOCATIONS AND COMPLETENESS ARE NOT GUARANTEED. CONTRACTOR SHALL MAKE ALL REQUIRED FIELD MEASUREMENTS TO VERIFY EXISTING AND CONTRACT INTERFACE DIMENSIONS, LOCATIONS, AND OTHER CONDITIONS. FINAL LOCATIONS OF PIPES WILL BE DETERMINED IN THE FIELD. ANY CHANGES WILL BE APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR BY HIS/HER FAILURE TO NOT LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS/HER WORK. ITEMS SHALL BE REPLACED WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED OR DAMAGED DURING CONSTRUCTION OR AS DIRECTED BY THE ENGINEER.
- EXISTING TREES, BUSHES, AND SHRUBS SHALL BE PROTECTED BY CONTRACTOR FROM ALL DAMAGE UNLESS IN DIRECT CONFLICT WITH NEW UTILITIES, STRUCTURES, OR EQUIPMENT.
- UNPAVED AREAS DISTURBED BY THE CONTRACTOR SHALL BE CLEARED AND GRUBBED IF REQUIRED, AND RESTORED WITH TOPSOIL AND SEED.
- ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES. ALL SOIL SPILLED, DROPPED, WASHED OR TRACKED ONTO ROADWAYS OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.
- EXCAVATION OF ANY TYPE SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT UNDERGROUND UTILITIES OR STRUCTURES ARE NOT DAMAGED. ALL ROADWAYS, PARKING AREAS, SIDEWALKS, AND OTHER STRUCTURES DISTURBED BY CONSTRUCTION IN OR OUTSIDE THE PROJECT AREA SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER AND SHALL BE GRADED TO MEET CONSTRUCTION AS DIRECTED BY THE ENGINEER. ALL COSTS RELATED TO THE REPAIR OF DAMAGED UTILITIES SHALL BE BORE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL DIG TEST PITS TO DETERMINE THE SIZE, LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES. ANY CONFLICTS NOTED IN CONSTRUCTION SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION AND ACTIVITIES OF HIS FORCES WITH THE OWNER AND ENGINEER TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES AND OPERATIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO SECURE THE SITE FROM PUBLIC ACCESS AT THE COMPLETION OF EACH DAY'S WORK. SITE SECURITY IS REQUIRED AND SHALL BE PROVIDED BY ONE OF THE FOLLOWING COURSES OF ACTION (UPON RECEIVING APPROVAL FROM THE CITY):
A. PHASE THE PROJECT SO AS TO REMOVE ONLY THAT SECTION OF FENCE THAT CAN BE REPLACED AT THE COMPLETION OF EACH WORK DAY, OR;
B. FURNISH, INSTALL AND DISMANTLE A 6-FOOT HIGH TEMPORARY CONSTRUCTION FENCE AND 3 (THREE) STRAND BARBED WIRE AND RAZOR RIBBON TOPPING AROUND THE WORK SITE AND EQUIPMENT, WHERE NECESSARY TO SECURE THE SITE FROM PUBLIC ACCESS. THE TEMPORARY FENCING SHALL BE INSTALLED BEFORE DEMOLITION WORK ON EXISTING FENCING STARTS AND SHALL REMAIN IN PLACE UNTIL PERMANENT CHAIN LINK FENCING AND GATES ARE COMPLETELY INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXCAVATION SOIL, DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC., FROM THE PROJECT SITE IN AN EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES.
- THE CONTRACTOR SHALL NOT DISTURB ANY UTILITY WITHOUT THE PRIOR APPROVAL OF ITS OWNER.
- ALL AREAS NOT SPECIFIED FOR CONSTRUCTION WHICH ARE DISTURBED AND DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO THE ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- IF CONTAMINATED SOIL IS ENCOUNTERED, DISCONTINUE WORK AND CONTACT THE OWNER AND ENGINEER.
- IF THE LAYOUT, LOCATIONS, OR INTENT OF THE PROPOSED WORK IS TO CHANGE IN ANY WAY FROM THE DESIGN/LAYOUT PROPOSED HEREIN, THE PROJECT MUST CEASE WORK UNTIL APPROPRIATE APPROVALS ARE RECEIVED/APPROVED BY THE OWNER AND ENGINEER BEFORE CONTINUING CONSTRUCTION. THIS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.



USGS MAP

Scale: 1" = 2000'

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK



FIELD OPERATIONS COMPLEX
PERIMETER FENCING REPLACEMENT

406 PHILLIPS AVENUE
NEWARK, DE 19711

COVER SHEET

CITY OF NEWARK

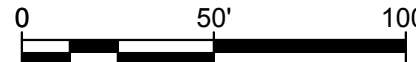
220 SOUTH MAIN STREET
NEWARK, DE 19711

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE. OWNER SHALL INDENTIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	CNEWK22007
DATE	2023-08-28
DRAWING SCALE	AS SHOWN
DRAWN BY	WJK
APPROVED BY	MJE

CS0001

SHEET 1 OF 3



ENNONI ASSOCIATES INC.
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121 Continental Drive, Suite 207
Newark, DE 19713-4310
302.655.4451 F 302.654.289



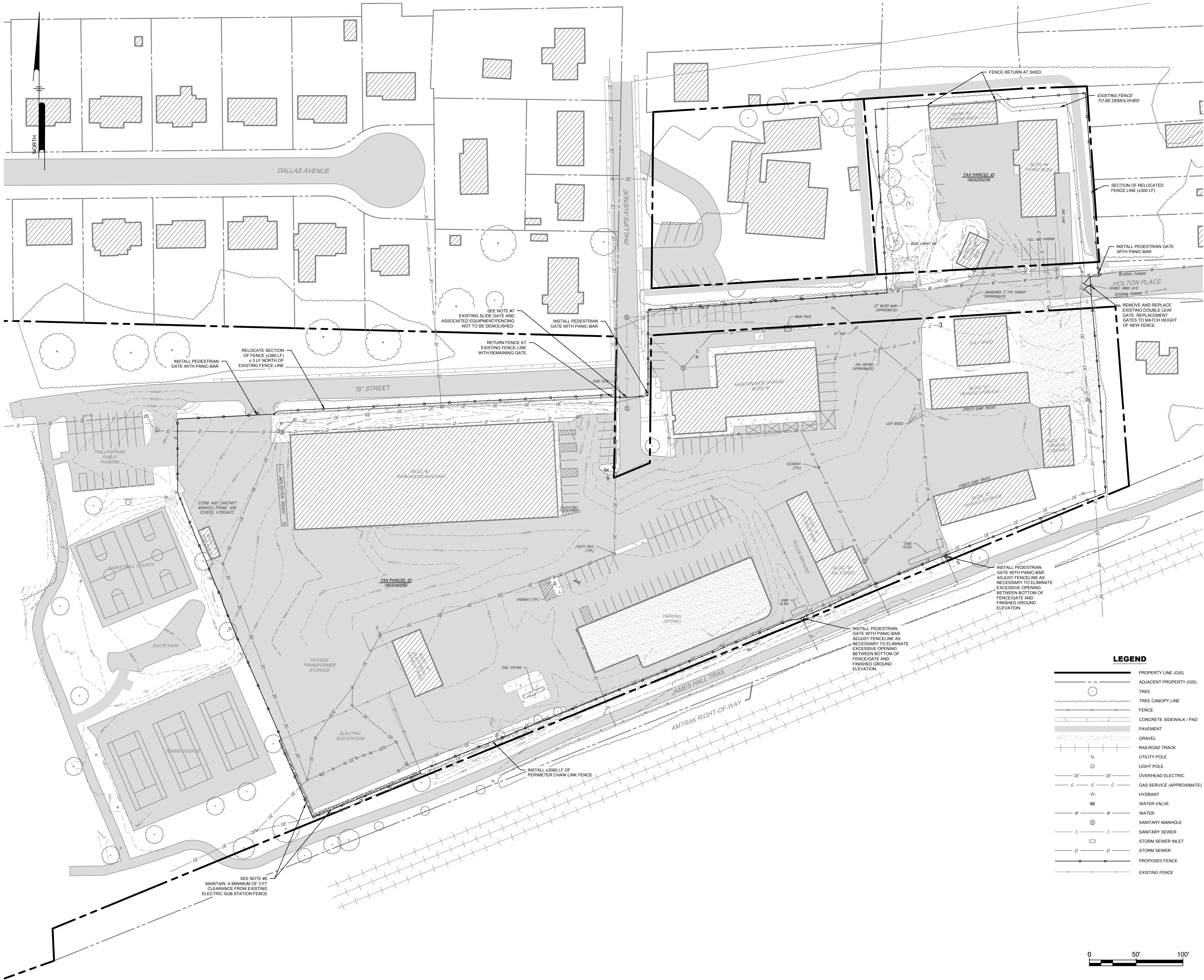
EXISTING CONDITIONS AND DEMOLITION PLAN

		1	ADDENDUM #1		WJK
					BY

BY PENNONI ASSOCIATES
VICE IN RESPECT OF THE
TENDED OR REPRESENTED
BY OWNER OR OTHERS ON
OBJECT OR ON ANY OTHER
BUT WRITTEN VERIFICATION
PENNONI ASSOCIATES FOR THE
DEED WILL BE AT OWNERS
T LIABILITY OR LEGAL
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MS, DAMAGES, LOSSES AND
R RESULTING THEREFROM.

NEWK22007
2023-08-28
AS SHOWN
WJK
MJE

501
OF 3



CONSTRUCTION NOTES

1. REMOVE AND DISPOSE OF EXISTING PERIMETER FENCING AND APPURTENANCES AS INDICATED ON PLAN. SECURE PERIMETER AS REQUIRED.
2. CONSTRUCT NEW FENCING AND GATES AS INDICATED ON PLAN.
3. PROVIDE AND INSTALL PANIC-BAR AND ASSOCIATED HARDWARE ON ALL PEDESTRIAN GATES AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. WHEN EXISTING CONDITIONS ALLOW, INSTALL LINE POSTS INTO IMPROVED SURFACE (PAVING) RATHER THAN GRASS/SOIL AREA.
5. MAINTAIN A MINIMUM 3 FEET OF SEPARATION FROM ELECTRICAL SUB-STATION AREA. THE CONTRACTOR SHALL PROVIDE AND PLACE #57 STONE IN THE AREA BETWEEN THE NEW AND EXISTING FENCE.
6. ADJUST FENCE LINE AS NECESSARY TO ELIMINATE EXCESSIVE OPENINGS BETWEEN BOTTOM OF FENCE/GATES AND FINISHED GROUND ELEVATION.
7. THE EXISTING SLIDING GATE AND ASSOCIATED EQUIPMENT/FENCING/POLES LOCATED AT THE PHILLIPS AVENUE ENTRANCE SHALL NOT BE DEMOLISHED. CONTRACTOR SHALL PAINT THESE ITEMS BLACK. CONTRACTOR TO PROVIDE BLACK PAINT TO MATCH PROPOSED FENCE COLOR. BLACK ASTM 934.
8. THE CITY OF NEWARK SHALL REMOVE AND DISPOSE OF VEGETATION OR TREES THAT ARE IN CONFLICT WITH THE EXISTING OR PROPOSED FENCE AND GATES.
9. PERMITTED WORK HOURS FOR THIS PROJECT SHALL BE 7:00 AM TO 4:00 PM, MONDAY THROUGH FRIDAY.

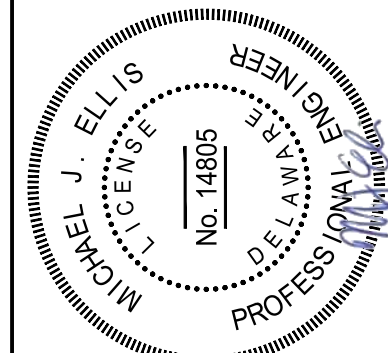
FIELD OPERATIONS COMPLEX
PERIMETER FENCING REPLACEMENT

406 PHILLIPS AVENUE
NEWARK, DE 19711

SITE PLAN

CITY OF NEWARK
220 SOUTH MAIN STREET
NEWARK, DE 19711

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DISCREPANCIES BEFORE PROCEEDING WITH WORK



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Newark, DE 19713-4310
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NO.	DATE	REVISIONS	BY
1	2023-09-27	ADDENDUM #1	WJK

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PROJECT	CNEWK22007
DATE	2023-08-28
DRAWING SCALE	AS SHOWN
DRAWN BY	WJK
APPROVED BY	MJE