

VFW PARKING LOT RECONSTRUCTION

CITY OF NEWARK, NEW CASTLE COUNTY, DELAWARE

FEBRUARY 01, 2024

CONTRACT NO. 24-02

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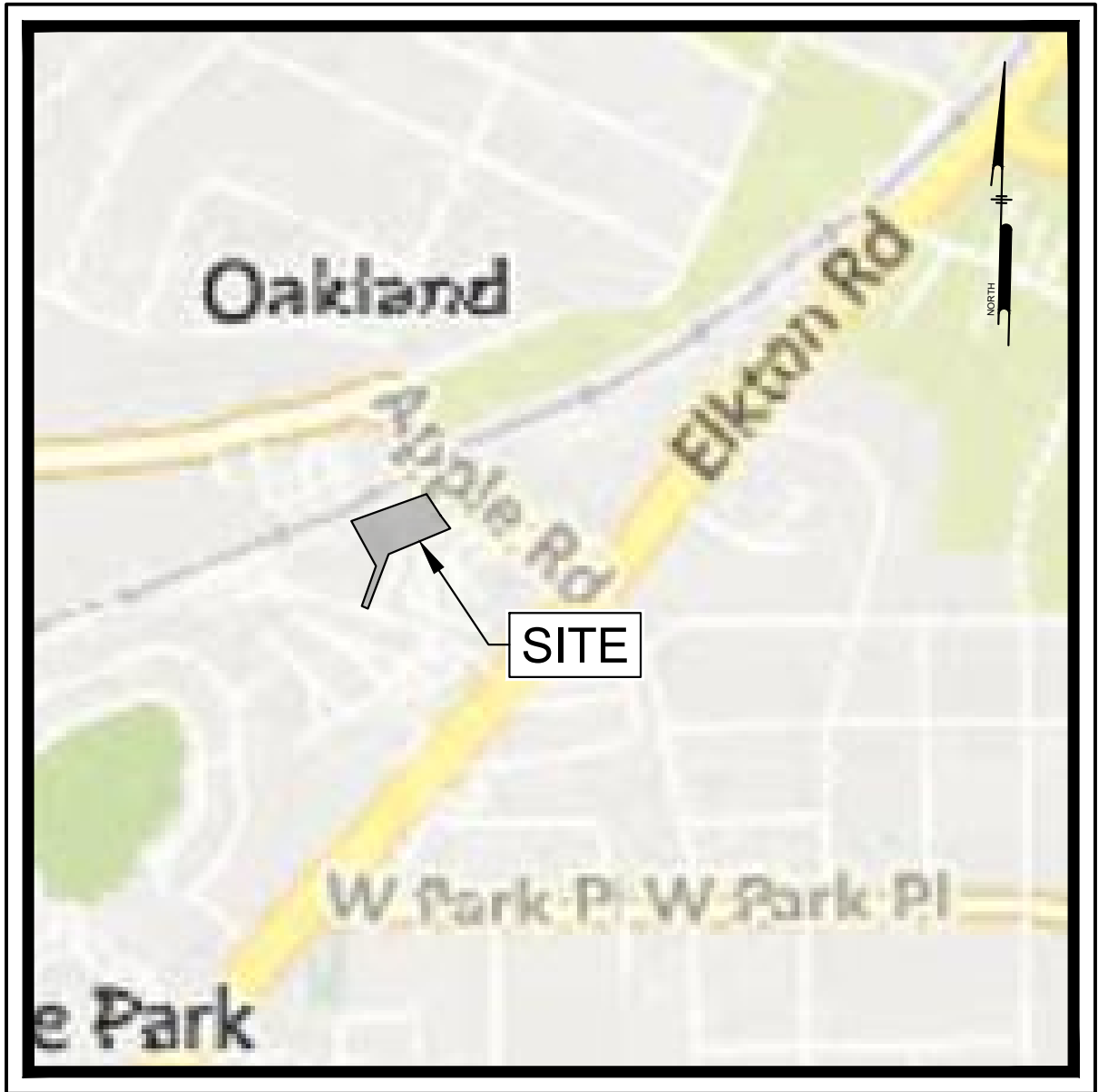
PREPARED FOR:

CITY OF NEWARK

220 SOUTH MAIN STREET

NEWARK, DE 19711

(302) 366-7000



LOCATION MAP
Scale: 1" = 600'



USGS MAP
Scale: 1" = 1000'



AERIAL MAP
Scale: 1" = 100'

PREPARED BY:

PENNONI ASSOCIATES INC.



Christiana Executive Campus
121 Continental Drive, Suite 207
Newark, DE 19713-4310
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CALL BEFORE YOU DIG
Call Miss Utility of Delmarva
800-282-8555
Ticket Number(s): 233450263

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK



VFW PARKING LOT RECONSTRUCTION

100 VETRANS DRIVE
NEWARK, DE 19711

COVER SHEET

CITY OF NEWARK
220 SOUTH MAIN STREET
NEWARK, DE 19711

NO.	DATE	REVISIONS	BY

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ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE
PROJECT. THEY ARE NOT INTENDED OR REPRESENTED
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON
THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER
PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS
SOLE RISK AND WITHOUT LIABILITY OR LEGAL
EXPOSURE TO PENNONI ASSOCIATES AND OWNER
SHALL INDEMNIFY AND HOLD HARMLESS PENNONI
ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND
EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	CNEWK23004
DATE	2024-02-01
DRAWING SCALE	AS NOTED
DRAWN BY	AVP
APPROVED BY	MJE

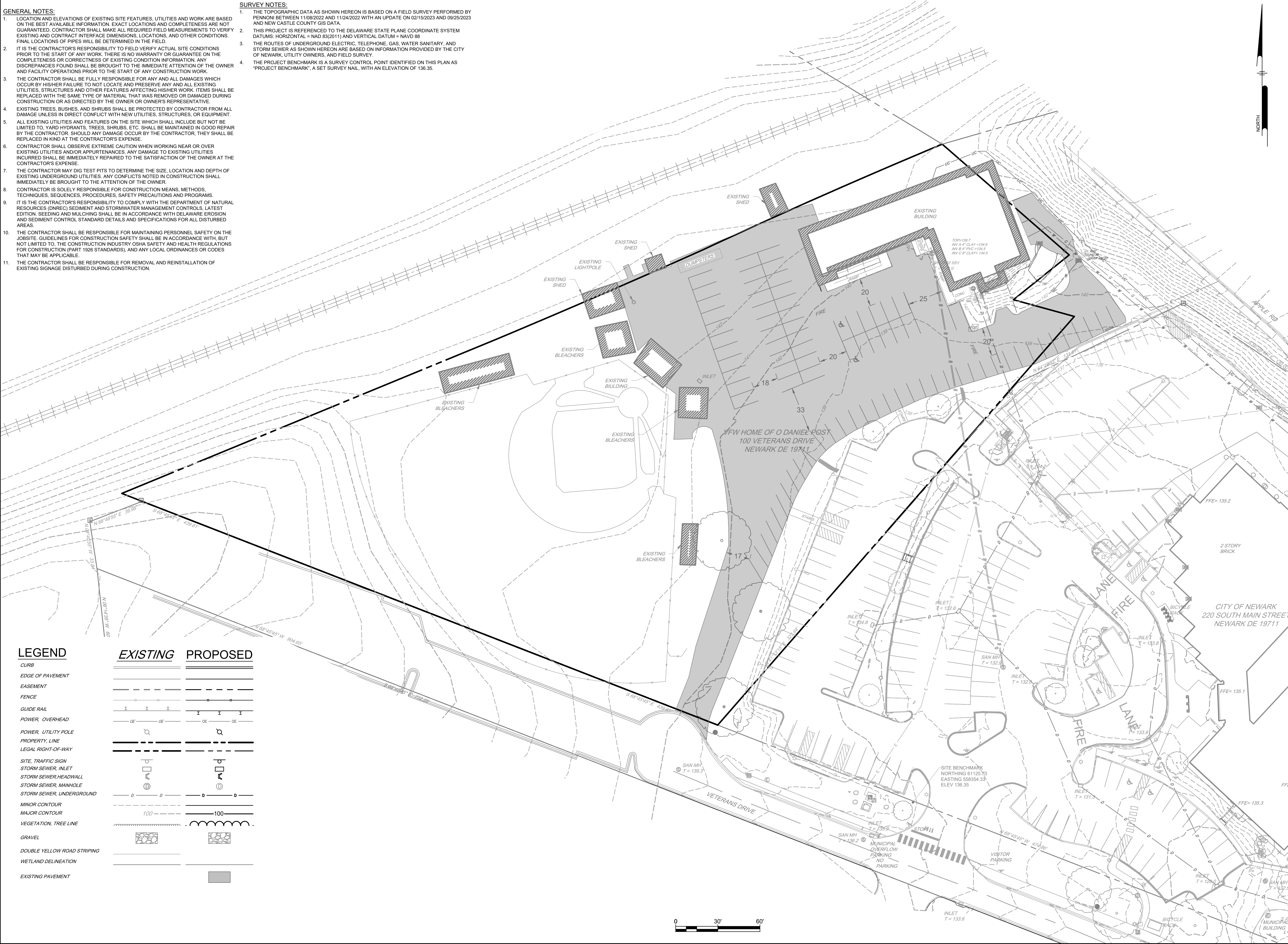
CS0001

SHEET 1 OF 5

- GENERAL NOTES:**
1. LOCATION AND ELEVATIONS OF EXISTING SITE FEATURES, UTILITIES AND WORK ARE BASED ON THE BEST AVAILABLE INFORMATION. EXACT LOCATIONS AND COMPLETENESS ARE NOT GUARANTEED. CONTRACTOR SHALL MAKE ALL REQUIRED FIELD MEASUREMENTS TO VERIFY EXISTING AND CONTRACT INTERFACE DIMENSIONS, LOCATIONS, AND OTHER CONDITIONS. FINAL LOCATIONS OF PIPES WILL BE DETERMINED IN THE FIELD.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF EXISTING CONDITION INFORMATION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER AND FACILITY OPERATIONS PRIOR TO THE START OF ANY CONSTRUCTION WORK.
 3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR BY HIS/HER FAILURE TO NOT LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS/HER WORK. ITEMS SHALL BE REPLACED WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED OR DAMAGED DURING CONSTRUCTION OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 4. EXISTING TREES, BUSHES, AND SHRUBS SHALL BE PROTECTED BY CONTRACTOR FROM ALL DAMAGE UNLESS IN DIRECT CONFLICT WITH NEW UTILITIES, STRUCTURES, OR EQUIPMENT.
 5. ALL EXISTING UTILITIES AND FEATURES ON THE SITE WHICH SHALL INCLUDE BUT NOT BE LIMITED TO, YARD HYDRANTS, TREES, SHRUBS, ETC. SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR. SHOULD ANY DAMAGE OCCUR BY THE CONTRACTOR, THEY SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
 6. CONTRACTOR SHALL OBSERVE EXTREME CAUTION WHEN WORKING NEAR OR OVER EXISTING UTILITIES AND/OR APPURTENANCES. ANY DAMAGE TO EXISTING UTILITIES INCURRED SHALL BE IMMEDIATELY REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
 7. THE CONTRACTOR MAY DIG TEST PITS TO DETERMINE THE SIZE, LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES. ANY CONFLICTS NOTED IN CONSTRUCTION SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER.
 8. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS.
 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE DEPARTMENT OF NATURAL RESOURCES (DNREC) SEDIMENT AND STORMWATER MANAGEMENT CONTROLS, LATEST EDITION. SEEDING AND MULCHING SHALL BE IN ACCORDANCE WITH DELAWARE EROSION AND SEDIMENT CONTROL STANDARD DETAILS AND SPECIFICATIONS FOR ALL DISTURBED AREAS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PERSONNEL SAFETY ON THE JOBSITE. GUIDELINES FOR CONSTRUCTION SAFETY SHALL BE IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE CONSTRUCTION INDUSTRY OSHA SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (PART 1926 STANDARDS), AND ANY LOCAL ORDINANCES OR CODES THAT MAY BE APPLICABLE.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REINSTALLATION OF EXISTING SIGNAGE DISTURBED DURING CONSTRUCTION.

- SURVEY NOTES:**
1. THE TOPOGRAPHIC DATA AS SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY PENNONI BETWEEN 11/08/2022 AND 11/24/2022 WITH AN UPDATE ON 02/15/2023 AND 09/25/2023 AND NEW CASTLE COUNTY GIS DATA.
 2. THIS PROJECT IS REFERENCED TO THE DELAWARE STATE PLANE COORDINATE SYSTEM DATUMS: HORIZONTAL = NAD 83(2011) AND VERTICAL DATUM = NAVD 88
 3. THE ROUTES OF UNDERGROUND ELECTRIC, TELEPHONE, GAS, WATER SANITARY, AND STORM SEWER AS SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY THE CITY OF NEWARK, UTILITY OWNERS, AND FIELD SURVEY.
 4. THE PROJECT BENCHMARK IS A SURVEY CONTROL POINT IDENTIFIED ON THIS PLAN AS "PROJECT BENCHMARK", A SET SURVEY NAIL, WITH AN ELEVATION OF 136.35.

LEGEND	EXISTING	PROPOSED
CURB		
EDGE OF PAVEMENT		
EASEMENT		
FENCE		
GUIDE RAIL		
POWER, OVERHEAD		
POWER, UTILITY POLE		
PROPERTY, LINE		
LEGAL RIGHT-OF-WAY		
SITE, TRAFFIC SIGN		
STORM SEWER, INLET		
STORM SEWER, HEADWALL		
STORM SEWER, MANHOLE		
STORM SEWER, UNDERGROUND		
MINOR CONTOUR		
MAJOR CONTOUR		
VEGETATION, TREE LINE		
GRAVEL		
DOUBLE YELLOW ROAD STRIPING		
WETLAND DELINEATION		
EXISTING PAVEMENT		



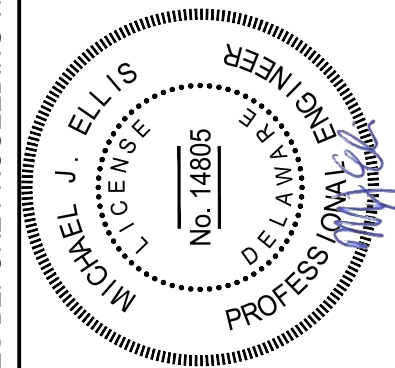
VFW PARKING LOT RECONSTRUCTION

100 VETERANS DRIVE
NEWARK, DE 19711

EXISTING CONDITIONS PLAN

CITY OF NEWARK
220 SOUTH MAIN STREET
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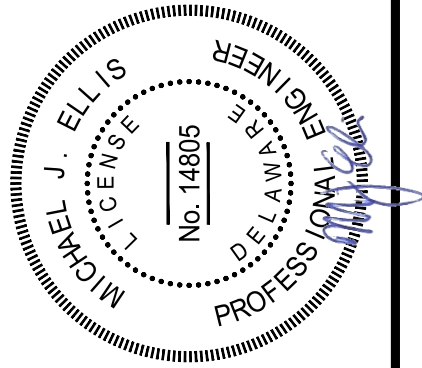
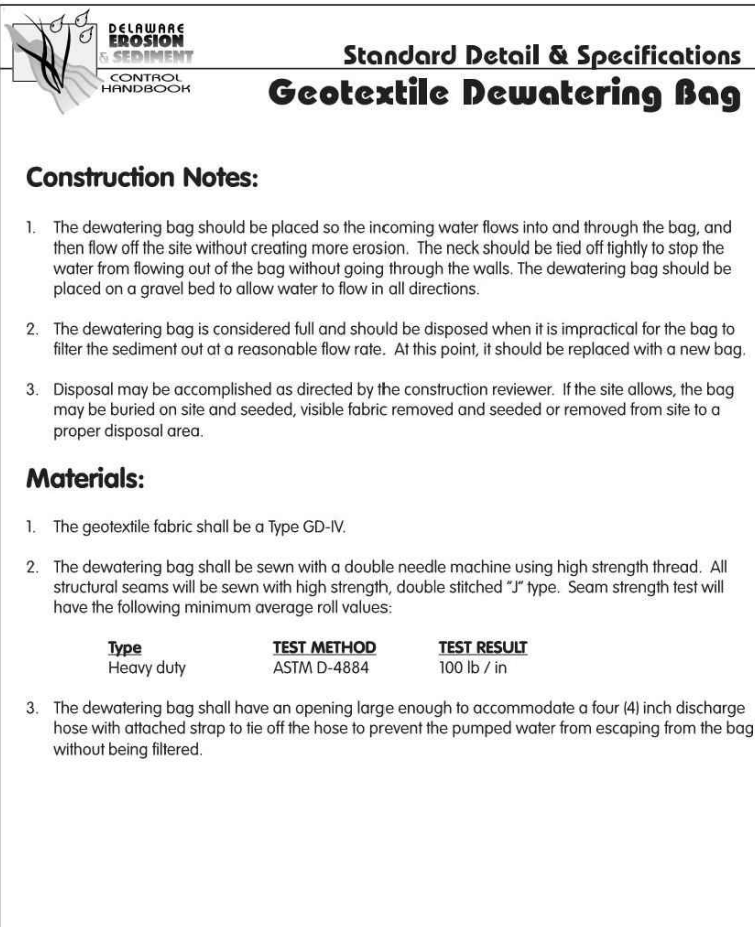
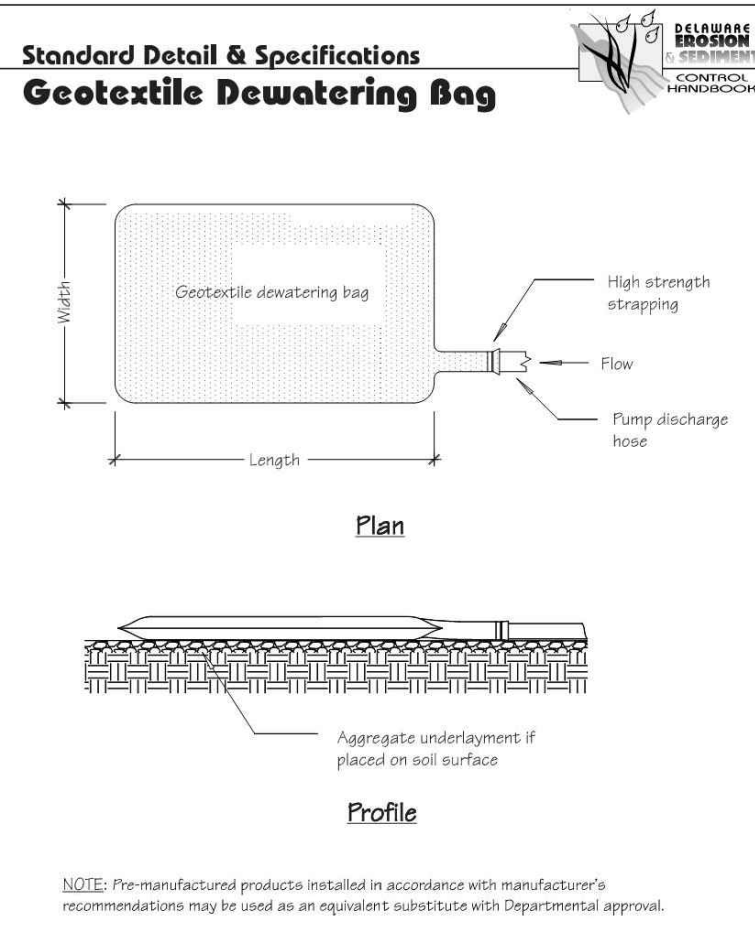
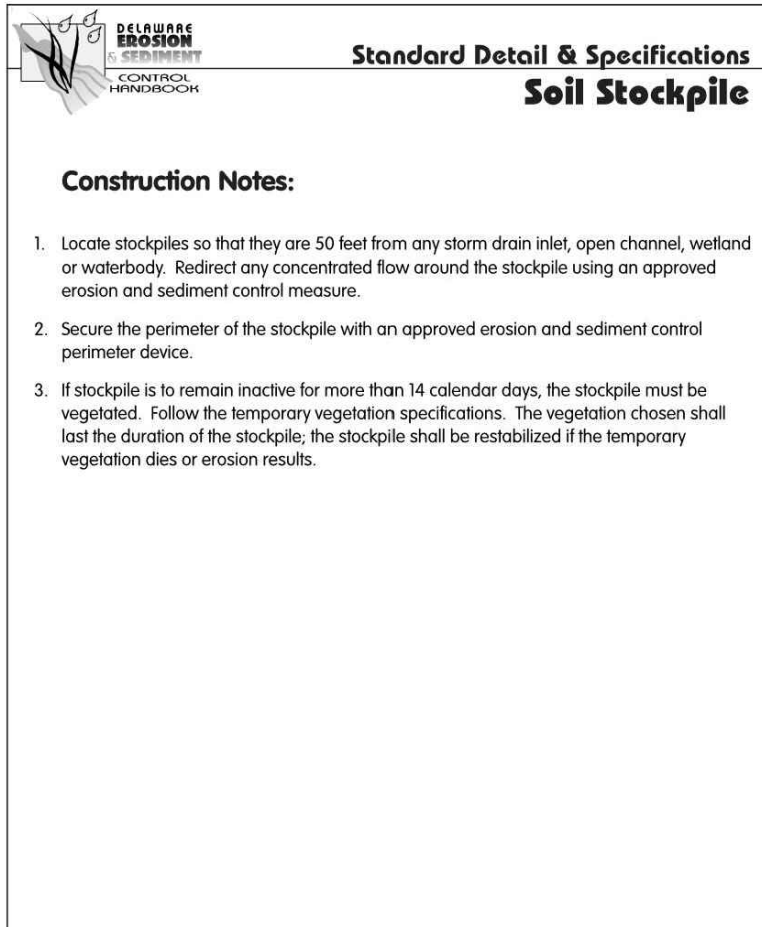
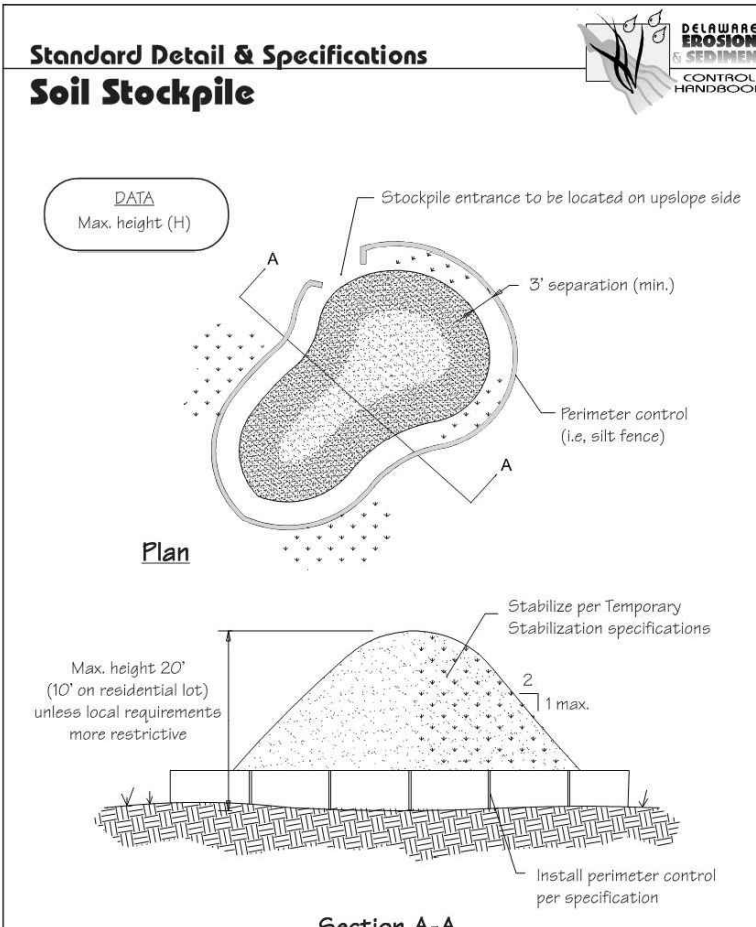
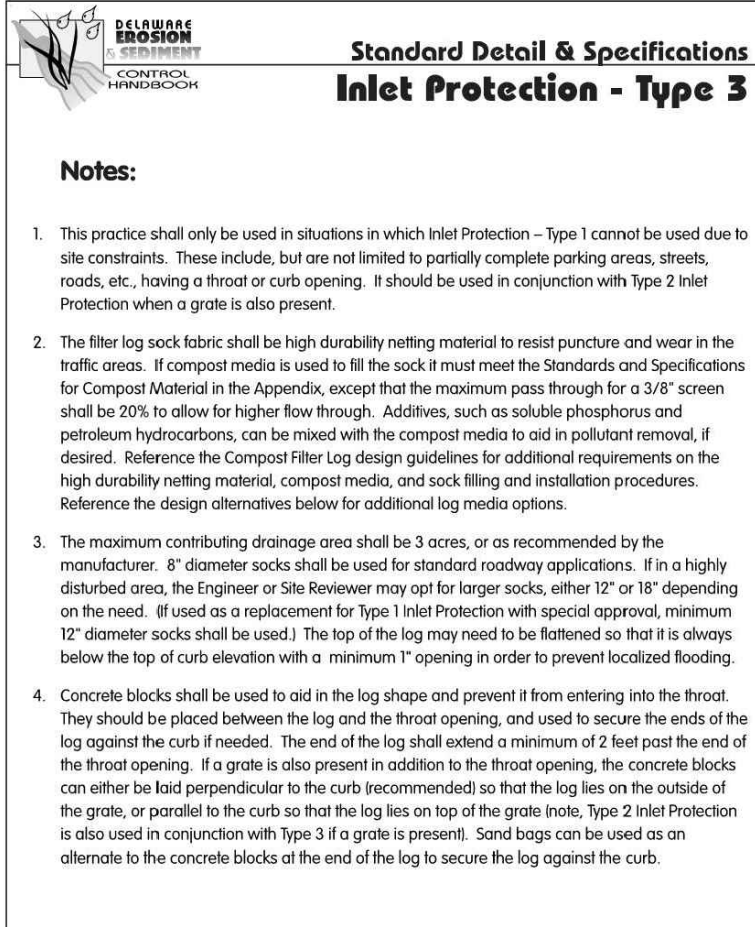
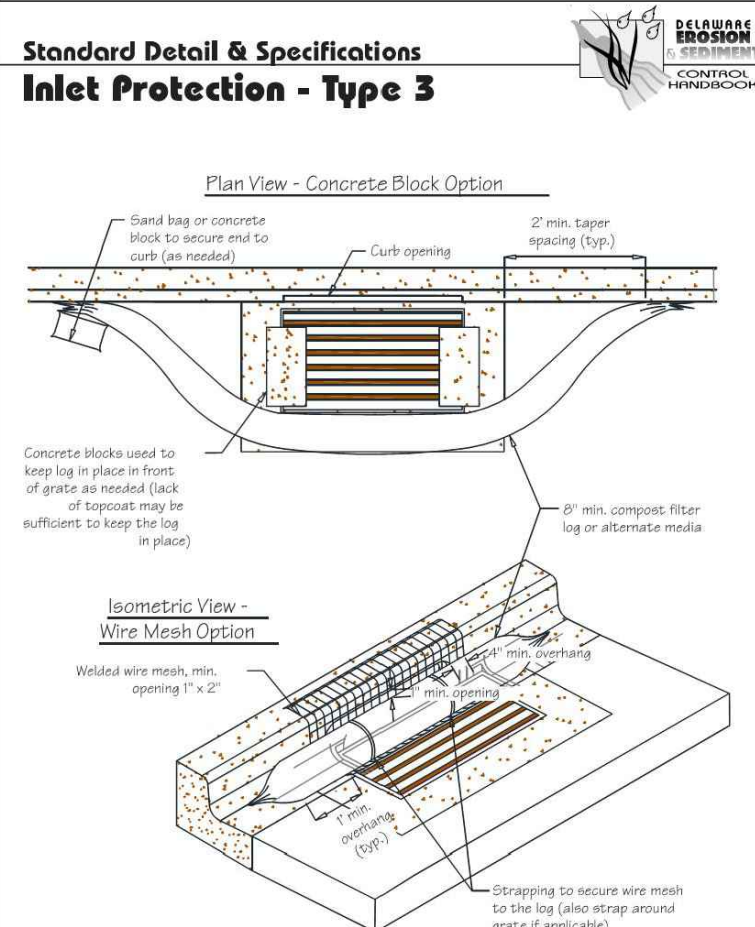
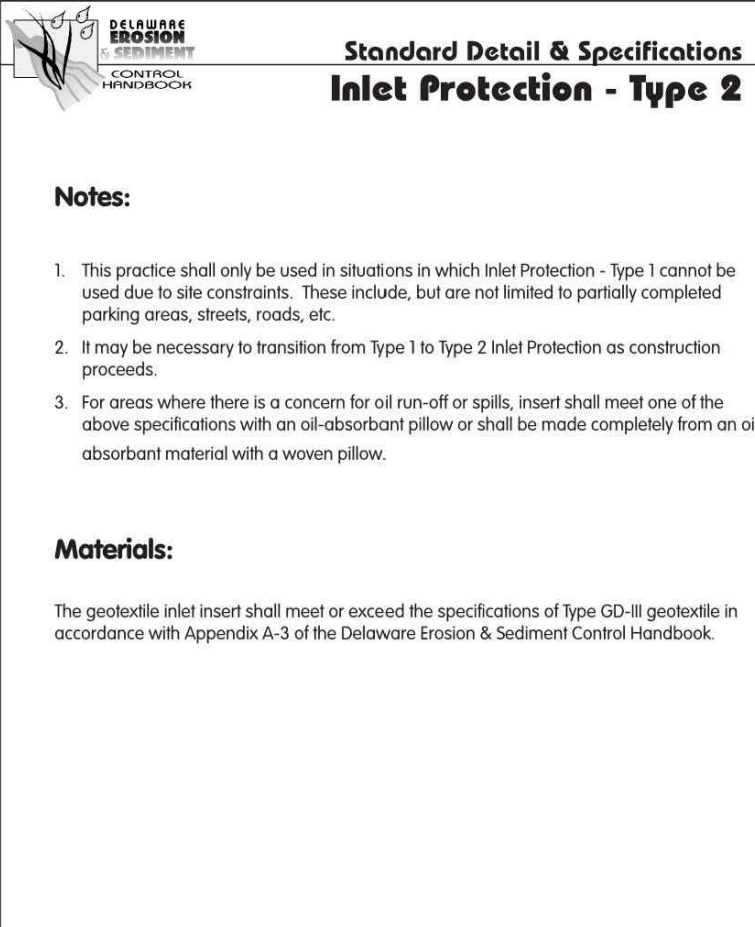
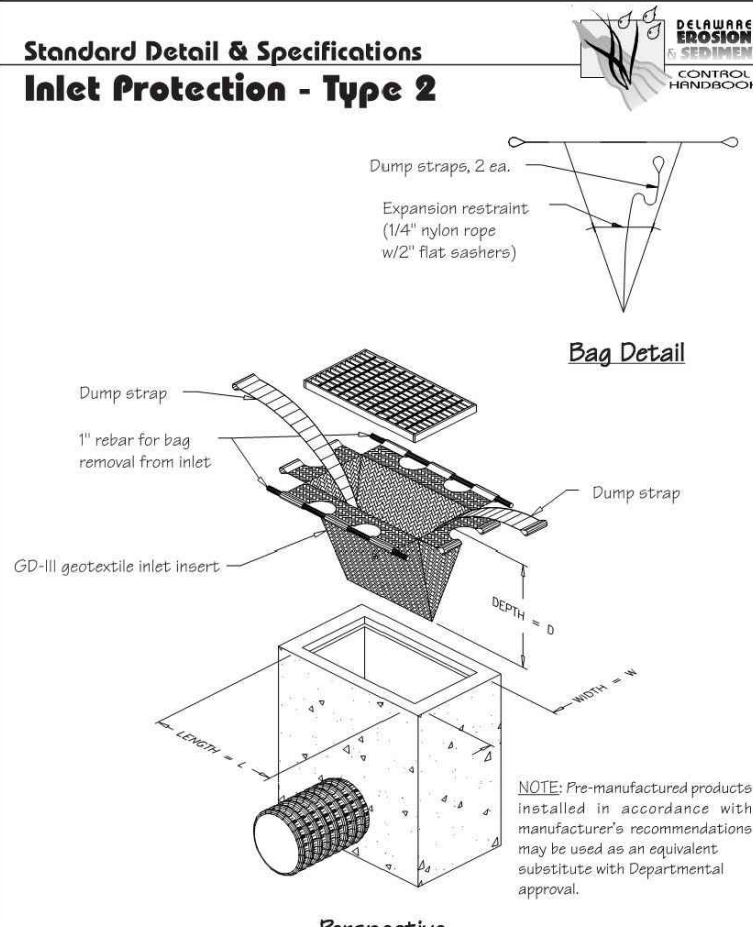
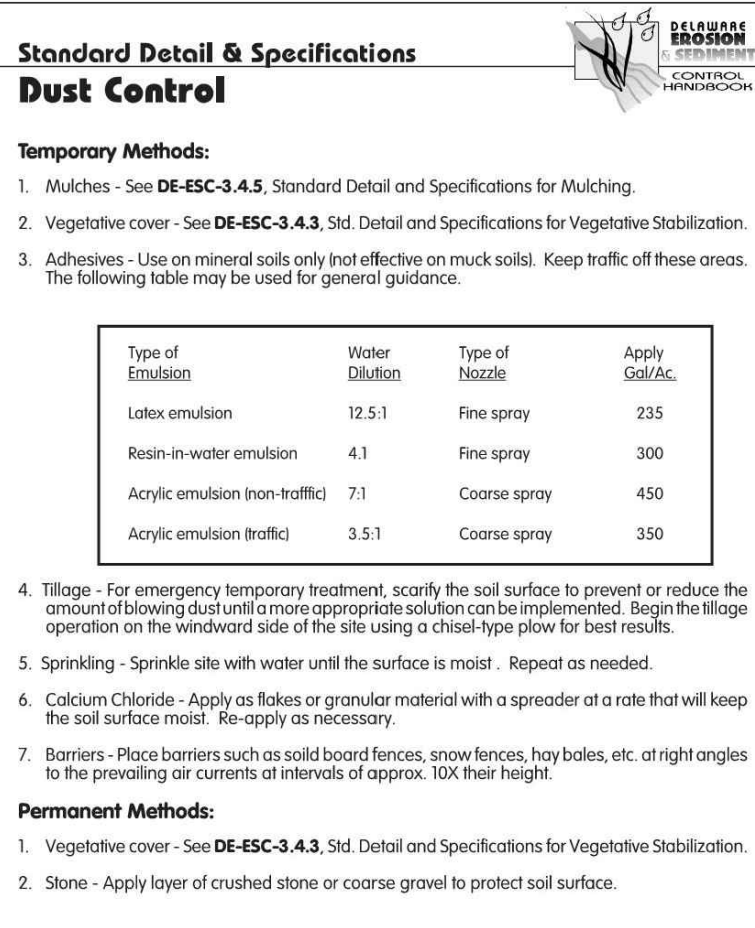
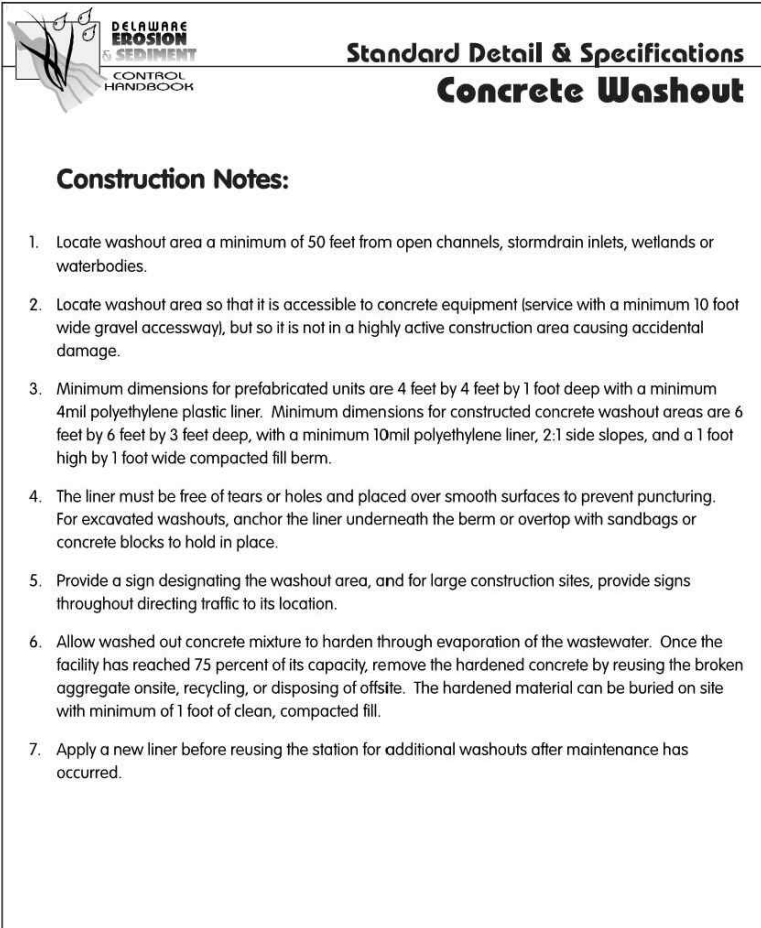
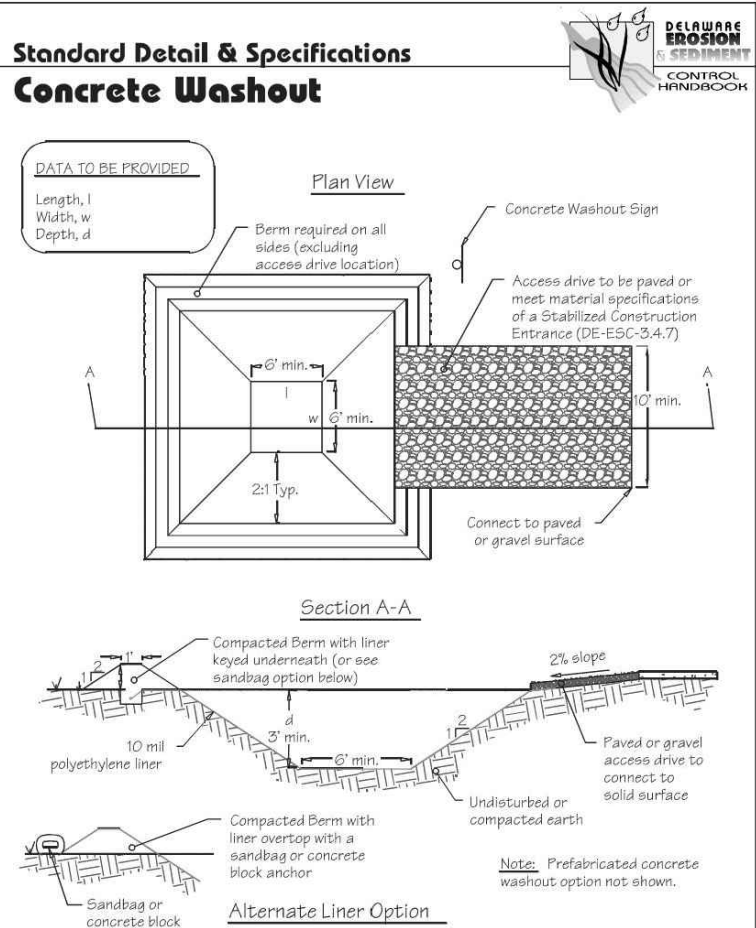


PROJECT	CNEWK23004
DATE	2024-02-01
DRAWING SCALE	1"=30'
DRAWN BY	ALS/AVP
APPROVED BY	MJE

CS0101

SHEET 2 OF 5

Pennon
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EROSION AND SEDIMENT CONTROL DETAILS

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[illegible]

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DATE 2024-02-01

DRAWING SCALE N.T.S.

DRAWN BY AVP

CS4601

